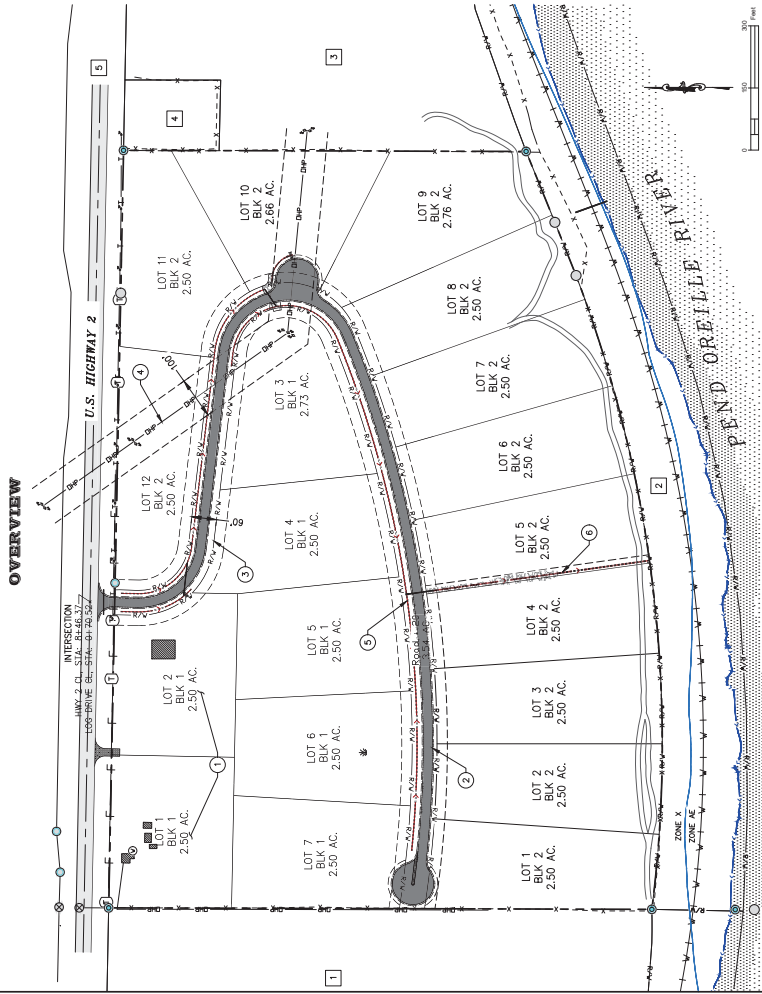


RIVER RANCH SUBDIVISION
 A SUBDIVISION OF RP56N05W263150A, A PORTION OF SEC26 T56N R5W,
 A.K.A. 4886 U.S. HIGHWAY 2, PRIEST RIVER, BONNER COUNTY, IDAHO

SITE, GRADING, STORMWATER AND EROSION CONTROL PLAN FOR

OVERVIEW



VICINITY MAP



OWNER
 CLAGSTONE LAND LLC

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- GENERAL NOTES**
- THESE PLANS ARE FOR THE PLAT OF RIVER RANCH SUBDIVISION, LOCATED IN THE SUBURBAN ZONE OF BONNER COUNTY, IDAHO.
 - THE ROAD CENTERLINE AS SHOWN HEREON SHALL BE LOCATED IN THE FIELD BY A LICENSED PROFESSIONAL LAND SURVEYOR.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF BONNER COUNTY AND ANY OTHER DEVELOPMENT STANDARDS.
 - ALL WORK SHALL CONFORM TO THE "ROAD STANDARDS FOR PUBLIC WORKS CONSTRUCTION", 2020 OR MOST RECENT EDITION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK NEAR ANY FACILITIES AND SHALL COORDINATE WITH THEM TO DISRUPT EXISTING UTILITIES AT THE LEAST 48 HOURS PRIOR TO STARTING ANY WORK.
 - CALL BEFORE YOU DIG AT 1-800-485-4969 AT LEAST 48 HOURS PRIOR TO STARTING ANY WORK.
 - AN APPROVED PERMIT SHALL BE OBTAINED FROM THE BONNER COUNTY PLANNING DEPARTMENT AND WORK SHALL NOT BEGIN UNTIL A NOTICE TO PROCEED IS RECEIVED FROM THE BONNER COUNTY PLANNING DEPARTMENT AND APPROVAL LETTER ON THE JOB SITE AT ALL TIMES.
 - THE CONTRACTOR SHALL HAVE A PROFESSIONAL ENGINEER CERTIFIED TECHNICIAN WHO WILL CERTIFY THAT TRENCH MATERIAL WAS COMPACTED AS REQUIRED IN ACCORDANCE WITH THE SPEC OR BONNER COUNTY REQUIREMENTS.
 - ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM ALL UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE.
 - ALL EXISTING IMPROVEMENTS INCLUDING CURB AND GUTTERS, SIDEWALKS, ASPHALT, OR CONCRETE, WHICH ARE BEING JOINED OR MATCHED IN EXISTING DRAINAGE FEATURES WILL BE PRESERVED OR RESTORED. NO PERMANENT BLOOMAGE OF EXISTING RUNOFF PATHS WILL BE PERMITTED.
 - STORMWATER BEST MANAGEMENT PRACTICES (BMP) SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE COUNTY STATE PLANE COORDINATES AND EROSION CONTROL SPECIFICATIONS ARE PER THE BROAD DEPARTMENT OF ENVIRONMENTAL QUALITY "ROAD CATALOG OF BEST MANAGEMENT PRACTICES" - CURRENT EDITION.
 - SMALLER DRAINAGE STRUCTURES SHALL BE PLACED IN A MANNER THAT MEETS THE REQUIREMENTS OF THE COUNTY STATE PLANE COORDINATES AND EROSION CONTROL SPECIFICATIONS ARE PER THE BROAD DEPARTMENT OF ENVIRONMENTAL QUALITY "ROAD CATALOG OF BEST MANAGEMENT PRACTICES" - CURRENT EDITION.
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ADJACENT PROPERTY OWNER & PARCEL NUMBER

- Quiter, William Ivan Stevens (RP56N05W263150A)
- BOYD OF WY - TRUD OREILLE VALLEY RAILROAD (RP56N05W263150A)
- GARBA, MICHAEL D (RP56N05W263150A)
- ANDERSON, JASON & KORTNE (RP56N05W263150A)
- BOYD OF WY - TRUD OREILLE VALLEY RAILROAD (RP56N05W263150A)

- KEYNOTES**
- 2.5 AC. PARCELS W/ INDIVIDUAL WELLS & SEPTIC (TYP)
 - 28' ROW/WAY, 22' ASPHALT TRAVEL WAY
 - 60' ROW/WAY
 - HIGH VOLTAGE OHP LINE IN 100' EASEMENT
 - STORMWATER FACILITY - INFILTRATION & DETENTION
 - SOIL RIPRAP CHANNEL OUTFALL

- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY BOUNDARY
 - PROPOSED PARCEL LINE
 - SETBACK
 - PROPOSED CENTER LINE
 - OVERHEAD POWER LINES
 - PROPOSED HIGHWAY
 - FINISHED GRADE
 - EXISTING GRADE
 - EXISTING RAILROAD
 - EXISTING HIGH WATER MARK
 - EROSION CONTROL (SILT FENCE/ANOLE)
 - DRAINAGE DIVIDUAL LINE
 - STORM PIPE/CHURBT
 - SOIL RIPRAP-EROSION CONTROL
 - EXISTING ROAD
 - PROPOSED ASPHALT ROAD
 - PROPOSED INFILTRATION AREA

- ABBREVIATIONS**
- BSE
 - BEGN NORMAL CROWN
 - END NORMAL CROWN
 - LEVEL CROWN
 - END VERTICAL CURVE
 - END VERTICAL PROFILE
 - POINT OF COMPOUND CURVATURE
 - POINT OF TANGENCY
 - PT

- CONSTRUCTION SCHEDULE**
- | Activity | Start Date | End Date |
|--|------------|----------|
| Utility Locate & Temporary Erosion Control | Apr-2024 | Apr-2024 |
| Clearing, Grubbing, Earthwork, Poor Soil Removal | May-2024 | May-2024 |
| Excavation, Batching, Sulfate Preparation | May-2024 | May-2024 |
| Utility Conduits, Foundation, Forms, Concrete, Septic Tank | May-2024 | May-2024 |
| Waterproofing, Drain Piping, Backfill, Compaction | Jun-2024 | Jun-2024 |
| Stormwater Conveyance and Detention Areas | Jul-2024 | Jul-2024 |
| Fine Grading, Asphalt/Concrete | Jul-2024 | Jul-2024 |
| Finalize All Disturbed Areas | Aug-2024 | Aug-2024 |

- GENERAL NOTES**
- THIS PLAN WAS PREPARED BY FROM A BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY CLAG & ASSOCIATES AS WELL AS INFORMATION TAKEN FROM THE RECORDS OF THE COUNTY ENGINEER.
 - THIS MAP DOES NOT REPRESENT AN ACTUAL SURVEY BUT WAS ASSEMBLED FROM INFORMATION GATHERED AS NOTED. REFER TO THE RECORDS OF SURVEY BY CLAG & ASSOCIATES FOR MORE DETAILED PROPERTY BOUNDARY, ELEVATION MONUMENTATION, AND ADDITIONAL INFORMATION.
 - STORMWATER, AND EROSION PLAN FOR A DEVELOPMENT PERMIT. THE HANDS LAYOUT AS RECEIVED AND IS INTENDED TO SERVE AS A GUIDANCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM ALL UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE.
 - PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF IDAHO, PRIOR TO FINAL ACCEPTANCE.

- STREET CONSTRUCTION NOTES**
- U.S. HIGHWAY 2 IS CURRENTLY MAINTAINED BY BONNER COUNTY ROAD & BRIDGE DEPARTMENT.
 - U.S. HIGHWAY 2 IS PROPOSED TO BE A FULLY MAINTAINED PUBLIC ROAD.

ESTIMATED GRADING QUANTITIES

Category	Volume (CY)	Volume (CY)	Volume (CY)	Volume (CY)	Volume (CY)	Volume (CY)	Volume (CY)	Volume (CY)	Volume (CY)
Excavate	100	100	100	100	100	100	100	100	100
Fill	100	100	100	100	100	100	100	100	100
Gravel	100	100	100	100	100	100	100	100	100
Asphalt	100	100	100	100	100	100	100	100	100
Concrete	100	100	100	100	100	100	100	100	100
Other	100	100	100	100	100	100	100	100	100

GRADING NOTES

- EXISTING GRADES AND TOPOGRAPHY SHOWN ARE APPROXIMATE AND SERVE TO ESTABLISH GRADIES AND AN ESTIMATE OF QUANTITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM ALL UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE.
- PROPOSED (CUT/FILL ZONES) ARE RECOMMENDED TO HAVE A 2:1 SLOPE OR FLATTER TO MEET COUNTY REQUIREMENTS AND TO AVOID EXCESSIVE EROSION.
- AREAS TO RECEIVE FILL SHALL BE CLEARED, GRUBBED, AND SCARIFIED PRIOR TO PLACING FILL.
- PROPOSED FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR TEST MAXIMUM DENSITY.

COVER SHEET

PROJECT # 23006
 SHEET 1 OF 11

811
 Call before you dig.
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 (208) 338-4000
 info@811idaho.com

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COVER SHEET
 CLAGSTONE LAND LLC
 RIVER RANCH SUBDIVISION
 PRIEST RIVER, ID

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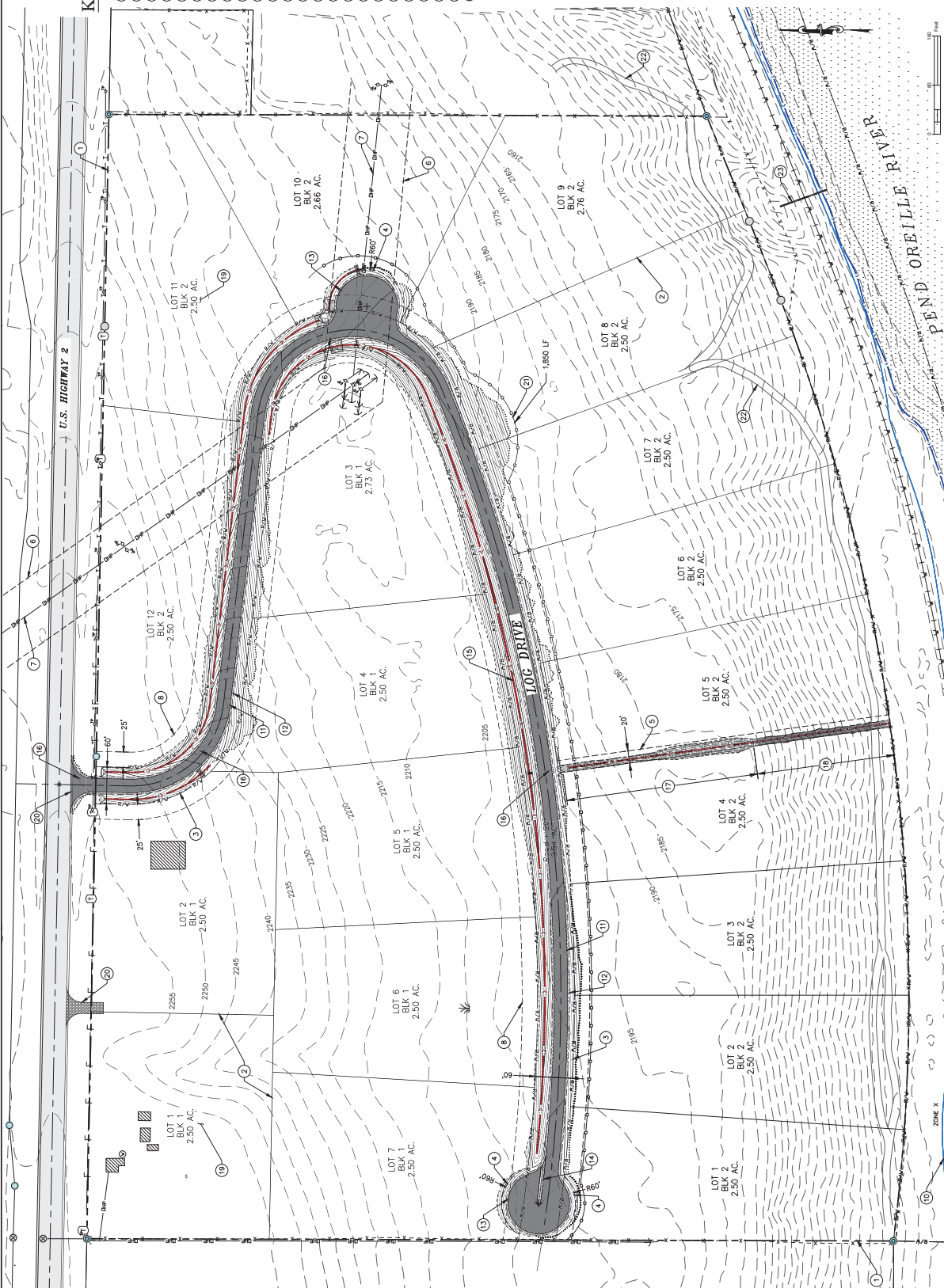
COVER SHEET
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KEYNOTES

- 1 PROPERTY BOUNDARY
- 2 PROPOSED PARCEL LINE (TP)
- 3 PROPOSED 80' RIGHT-OF-WAY
- 4 IMPROVED DRESS- & UTILITY EASEMENT
- 5 DRAINAGE EASEMENT
- 6 100' UTILITY EASEMENT
- 7 HIGH VOLTAGE OVERHEAD POWER LINE - CENTER OF 3 LINES
- 8 25' BUILDING SETBACK
- 9 ORDINARY HIGH WATER MARK
- 10 SPECIAL FLOOD HAZARD BOUNDARY
- 11 PROPOSED 22' ASPHALT ROADWAY (SEE PLAN & PROFILE SHEET 3 - 8)
- 12 PROPOSED 28' TRAVEL WAY (SEE PLAN & PROFILE SHEET 3 - 8)
- 13 CUL-DE-SAC/ANNUDE 100' DIA (SEE SECTION 8/10 & C/9 RESPECTIVELY)
- 14 CONCRETE CROSS PAV (SEE SECTION 8/10)
- 15 PROP. BIG INFILTRATION SHALE (SEE SECTION 4/10)
- 16 PROPOSED CULVERTS (SEE ROAD PLAN & PROFILE SHEETS 3 - 8)
- 17 TYPE "L" SOIL RIPRAP CHANNEL OUTFALL (SEE SECTION F/11)
- 18 TYPE "M" SOIL RIPRAP CHANNEL OUTFALL (SEE SECTION F/11)
- 19 2.5 AC. PARCELS W/ INDIVIDUAL WELL & SEPTIC (C/P)
- 20 STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL E/11)
- 21 SALT FENCE OR STRAIN WADGLE (SEE DETAIL C/11)
- 22 EXISTING TRAILS
- 23 EXISTING CULVERT
- 24 FOUND "M" REMAIN - RETAIN & PROTECT PROPERTY CORNER

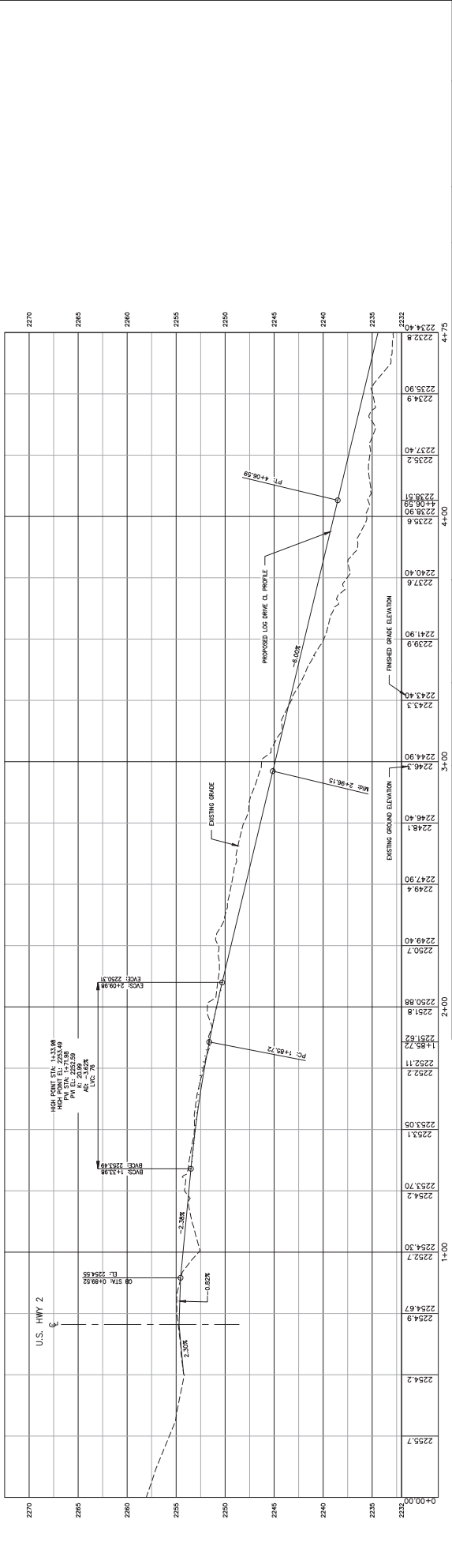
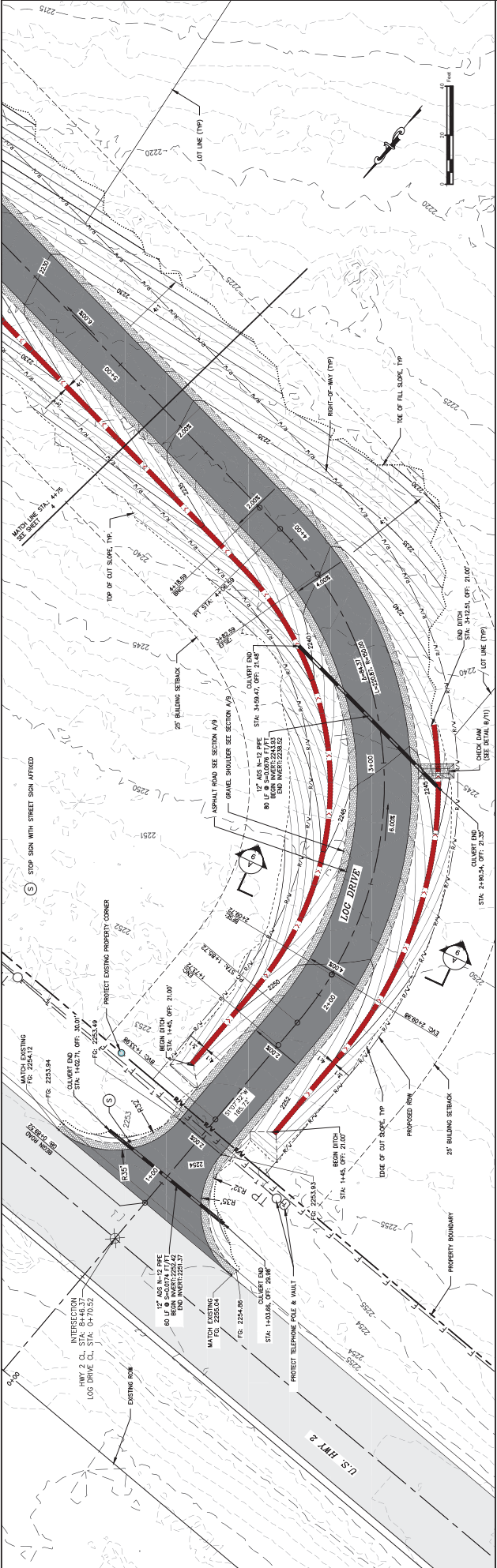


PROJECT #	230006
DATE	10/2/2023
SCALE	1" = 80'
DATE	10/2/2023
PROJECT	CLAGSTONE LAND LLC RIVER RANCH SUBDIVISION PRIEST RIVER, ID
DATE	10/2/2023
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DATE	10/2/2023
SCALE	1" = 80'
DATE	10/2/2023
PROJECT	CLAGSTONE LAND LLC RIVER RANCH SUBDIVISION PRIEST RIVER, ID
DATE	10/2/2023
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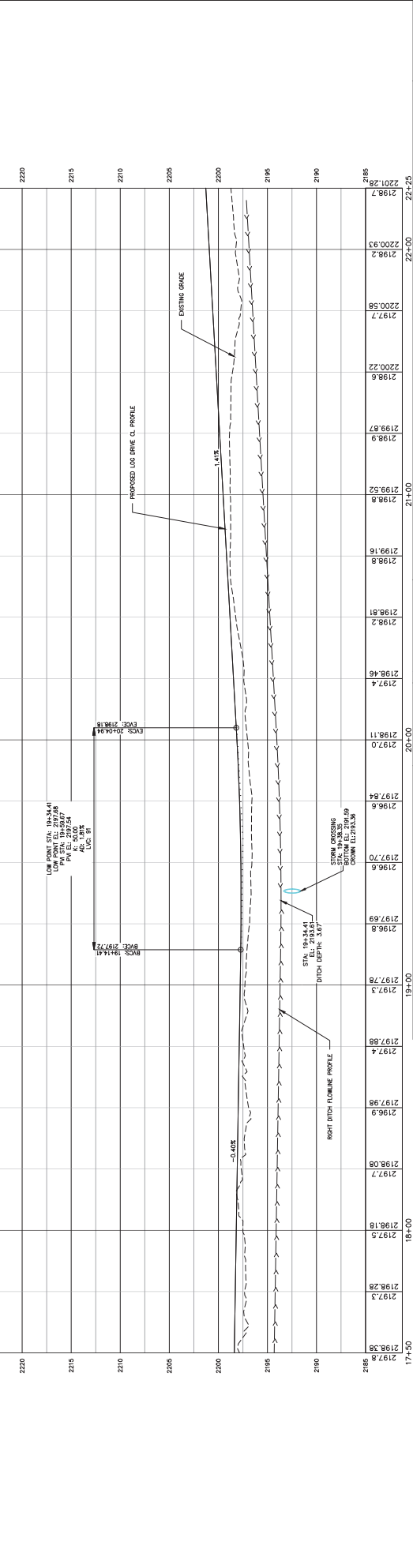
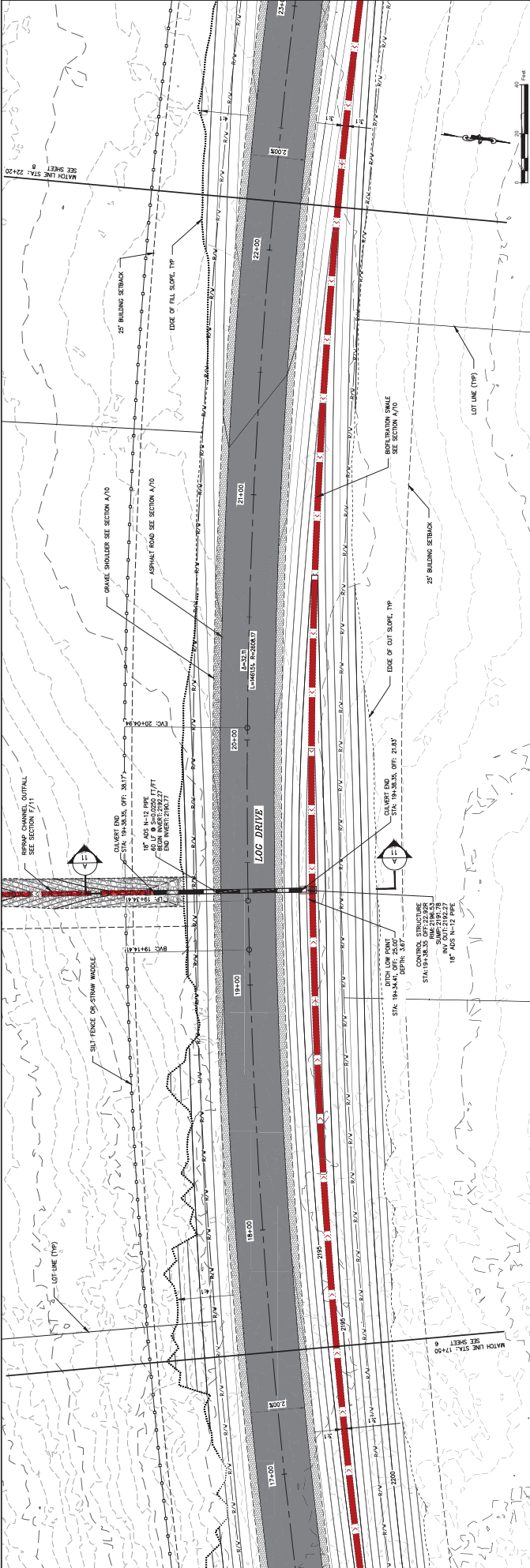
PROJECT #	230006
DATE	10/2023
SCALE	N.T.S.
SHEET	3 OF 11



OWNER	CLAGSTONE LAND LLC
PROJECT	RIVER RANCH SUBDIVISION
LOCATION	PRIEST RIVER, ID

PROJECT #	230006
DATE	10/2023
SCALE	N.T.S.
SHEET	3 OF 11

PROJECT #	230006
DATE	10/2023
SCALE	N.T.S.
SHEET	3 OF 11

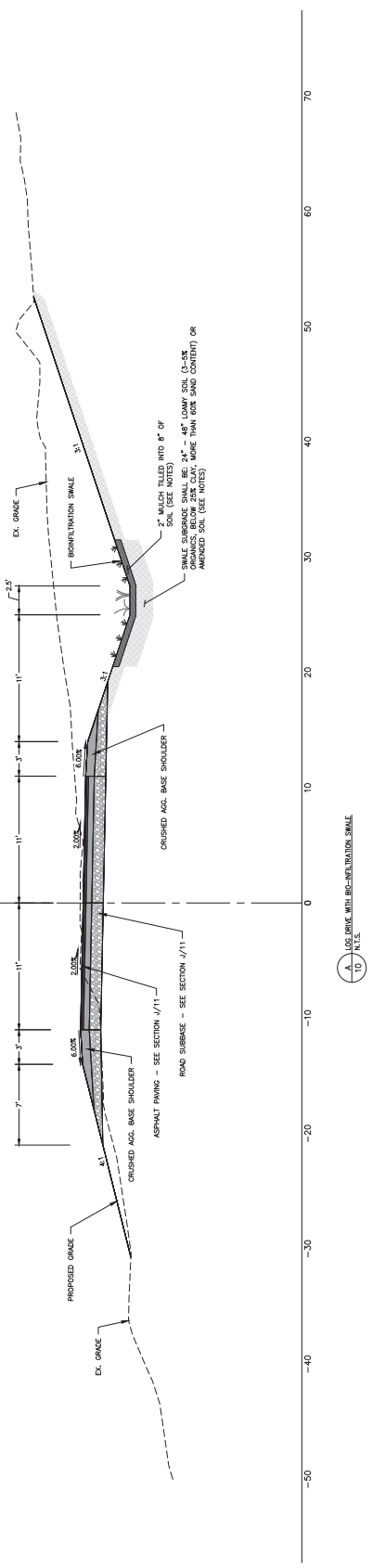
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DATE	10/2023
SCALE	N.T.S.
SHEET	3 OF 11



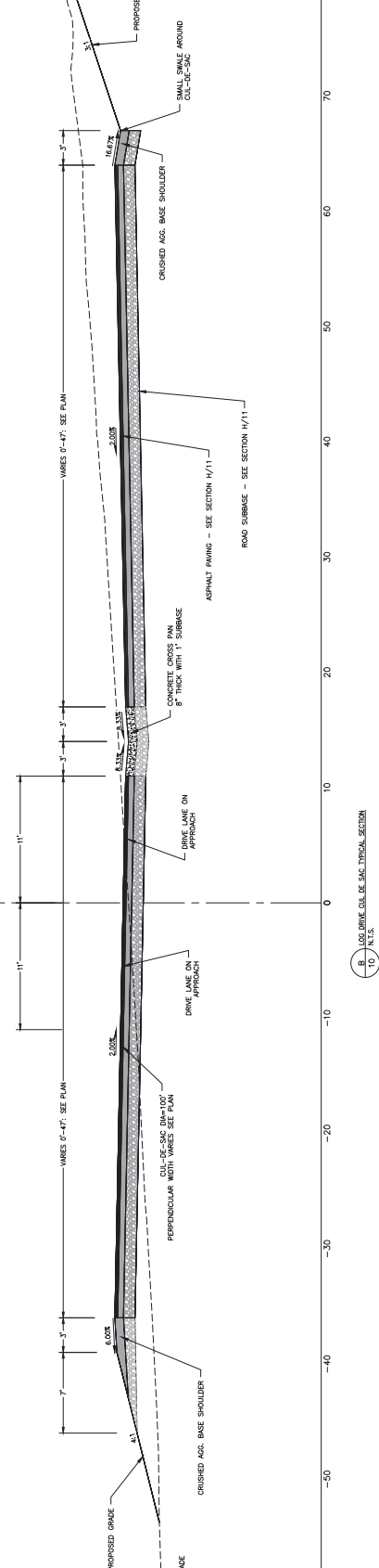
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SHEET # 23006 PROJECT # 23006 DRAWN BY: DJW CHECKED BY: DJW DATE: 10/2023		PROJECT # 23006 PROJECT NAME: STA 17+50 - 22+25 DRAWING DATE: 10/2023 SCALE: N.T.S. SHEET 7 OF 11	
CLIENT: CLAGSTONE LAND LLC PROJECT: RIVER RANCH SUBDIVISION RIVER RIVER, ID		PROJECT # 23006 PROJECT NAME: STA 17+50 - 22+25 DRAWING DATE: 10/2023 SCALE: N.T.S. SHEET 7 OF 11	

SUGGESTED SEEDING MIXES:
 GRASSED INFILTRATION AREA:
 60% FESCUE (60%/40)
 40% BROME (40%/60)
 FULLY BROME (60%/40)




- NOTES:
1. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
 2. EXISTING GRADE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
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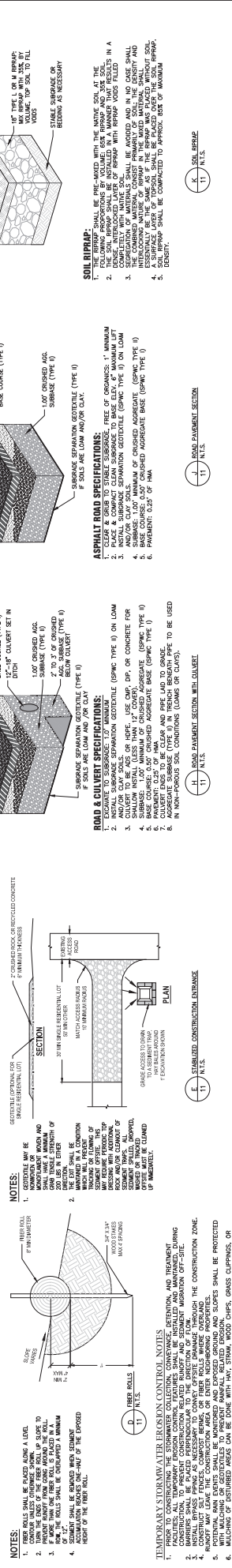
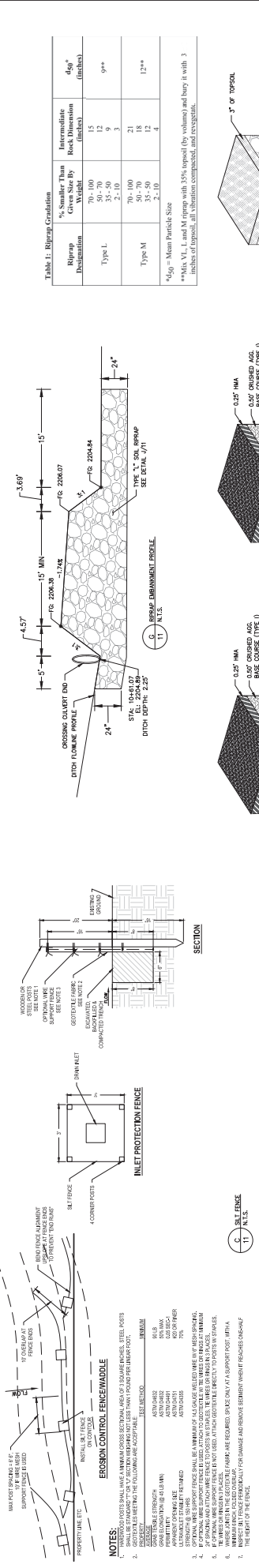
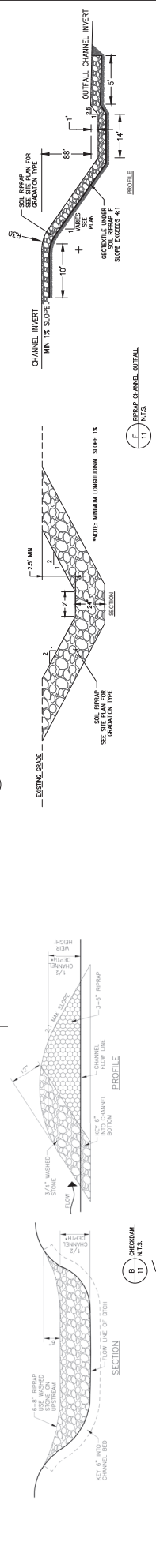
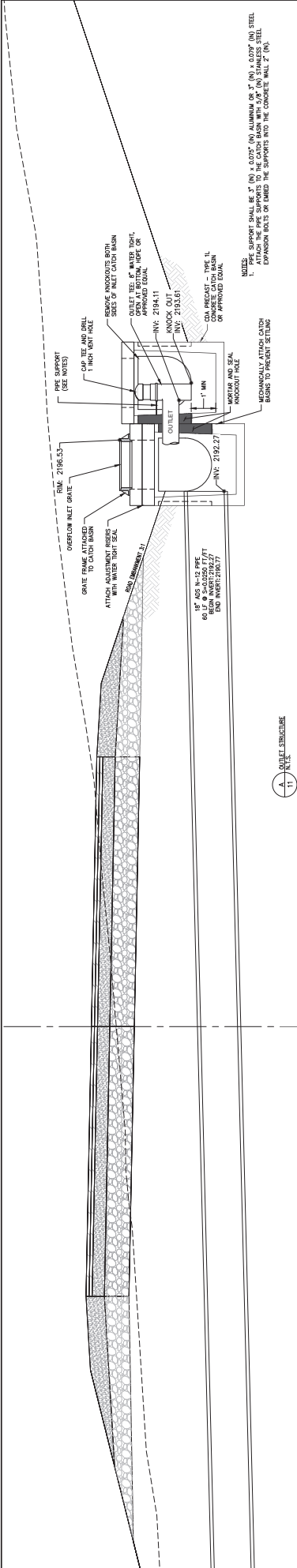


(A) LOG DRIVE WITH INFILTRATION SHALE
 10' N.T.S.



(B) LOG DRIVE SOLE (SEE TYPICAL SECTION)
 10' N.T.S.

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		PROJECT # 230006 DRAWN BY: DJW CHECKED BY: DJW DATE: 10/23/23	SCALE: N.T.S. SHEET NO. 10 OF 11		



PROJECT # 230006
OWNER CLAGSTONE LAND LLC
DESIGNED BY DWL
DATE 10/2023

PROJECT RIVER RANCH SUBDIVISION
PREST RIVER, ID

SCALE N.T.S.
DATE 10/2023
SHEET 11 OF 11

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TEMPORARY EROSION CONTROL NOTES

- INSTALL STORMWATER COLLECTION, CONFORMANCE, RETENTION, AND TREATMENT FACILITIES AS SHOWN ON THESE PLANS.
- RE-VEGETATE DISTURBED AREAS, OUTSIDE OF THE STORMWATER TREATMENT AND CONFORMANCE AREA, WITH PLANTS LISTED IN BONNER COUNTY CODE.
- IF SLOPES ARE TOO STEEP TO BE VEGETATED, APPLY ROCK MULCH OR RIPRAP FOR SLOPE PROTECTION.
- IF SLOPES ARE TOO STEEP TO BE VEGETATED, APPLY ROCK MULCH OR RIPRAP FOR SLOPE PROTECTION.
- BEST MANAGEMENT PRACTICES: THE DOCUMENT CAN BE FOUND ON THE BLDG DEPARTMENT OF ENVIRONMENTAL QUALITY'S "STORM WATER" WEB PAGE.

PERMANENT EROSION CONTROL NOTES

- INSTALL STORMWATER COLLECTION, CONFORMANCE, RETENTION, AND TREATMENT FACILITIES AS SHOWN ON THESE PLANS.
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