

REV 1

EXISTING STRUCTURE/BUILDING SQUARE FEET (sf)

- CHURCH BUILDING 5,472 sf
- SHED (SOUTH) 210 sf
- SHED (NORTH) 160 sf
- EXISTING TOTAL: 5,842 sf

PROPOSED ADDITION BUILDING SQUARE FEET (sf)

- NEW ADDITION 5,072 sf
- PROPOSED TOTAL: 5,072 sf

EXISTING & PROPOSED STRUCTURE/BUILDING SQUARE FEET (sf)

- CHURCH BUILDING 10,544 sf
- SHED (SOUTH) 210 sf
- SHED (NORTH) 160 sf
- EXISTING TOTAL: 10,914 sf

SITE LEGEND

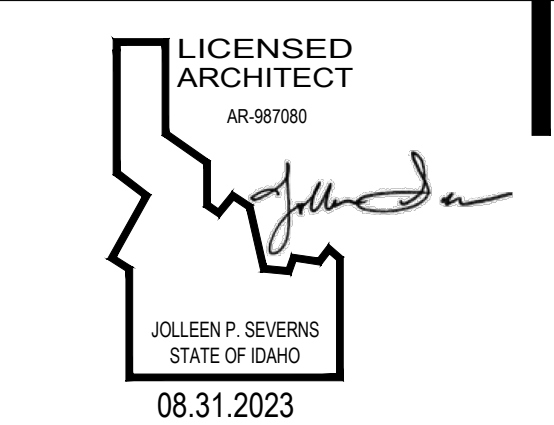
- PROPERTY LINE
- SETBACK
- x-x- CHAINLINK FENCE
- ROOF LINE
- NATIVE / NATURAL VEGETATION
- BUILDING FOOTPRINT
- ▨ SHARED GRAVEL DRIVEWAY
- CONCRETE/CMU WALL

GENERAL NOTES

1. CONTRACTOR TO LOCATE WATER, SEWER AND UTILITIES AND VERIFY ALL EASEMENTS PRIOR TO COMMENCEMENT OF WORK.
2. GRADE POINT LOCATIONS ARE FOR CLARIFICATION OF EXISTING GRADES. CONTRACTOR SHALL VERIFY ACTUAL GRADES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL PROVIDE NEW GRADES WITH PROPER SLOPE & DRAINAGE AROUND THE RESIDENCE. 1/4" PER FOOT MINIMUM SLOPE.
3. PERFORATED DRAINAGE PIPING AROUND RETAINING WALL FOOTINGS ARE RECOMMENDED FOR DRAINAGE PURPOSES.

SITE PLAN KEYED NOTES

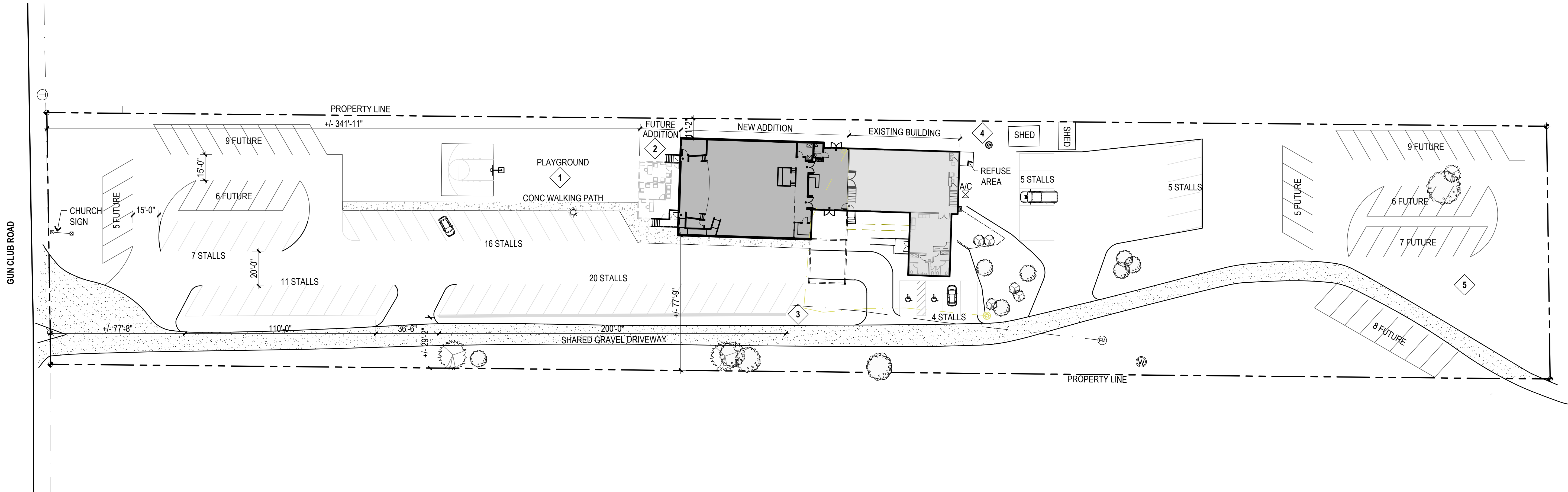
- 1 RELOCATE EXISTING PLAYGROUND EQUIPMENT
- 2 FUTURE OFFICE FOOTPRINT
- 3 LENGTH OF CONCRETE/CMU WALL MAY VARY DEPENDING ON SLOPE OF SITE - NOT TO EXCEED 3'-6" OF RETAINED GRADE.
- 4 EXISTING SEPTIC TO REMAIN
- 5 EXISTING SEPTIC DRAIN FIELDS TO REMAIN



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REV	DATE	DESCRIPTION
REV 1	01-22-2024	BLDG SF

Consultant Team



SITE PLAN
SCALE: 1 : 30

**SAGLE VICTORY CHURCH
ADDITIONS
P# RP56N02W0989000A
602 GUN CLUB ROAD, SAGLE, IDAHO 83860
SITE PLAN**

Project #:	22-116
Designer:	J. Sevrens
Phase:	100% CD
Drafter:	LgQ
Date:	08.31.2023



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